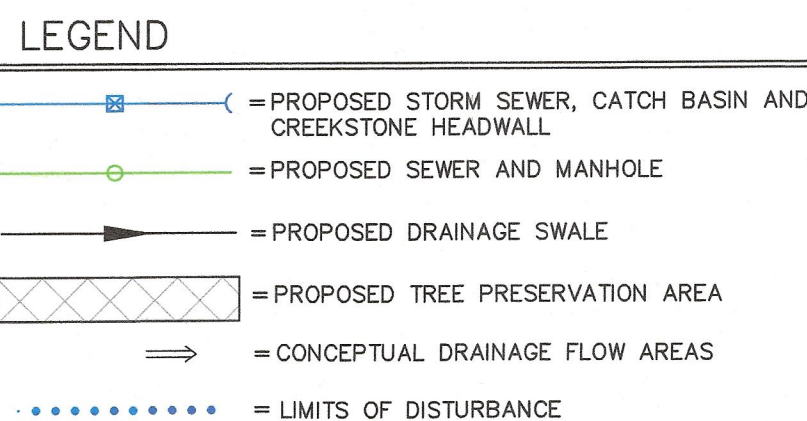
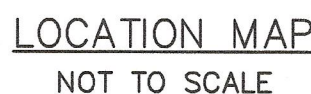


GENERAL

1. No lots shown hereon may be subdivided or resubdivided resulting in the creation of a greater number of lots than originally approved by the planning commission.
2. Construction fencing shall be erected at the edge of the limits of disturbance areas prior to any grading or construction activities. The fencing is to remain in place until all construction is completed. No parking, material storage, or construction activities shall be permitted within the fenced areas.
3. A soil erosion and sedimentation control plan shall be developed and implemented in accordance with the Metropolitan Sewerage and USDA Soil Conservation Service recommendations.
4. Benchmark and topographical information shown hereon were derived from Lojic data. Boundary information was taken from deeds.
5. Regarding Benchmark data, topographical information shown hereon was derived from lojic data.
6. Compatible on-site utilities, (electric, phone, cable) shall be placed in a common trench unless otherwise required by appropriate agencies.
7. Mitigation measures for dust control shall be in place during construction to prevent fugitive particulate emissions from reaching existing roads and neighboring properties.
8. Street trees shall be planted in a manner that does not effect public safety or hamper sight distance. Final location will be determined during construction approval process.
9. A site visit was conducted by Theodore Bernstein, RLA on 6/26/24 and no evidence of KARST features were observed.

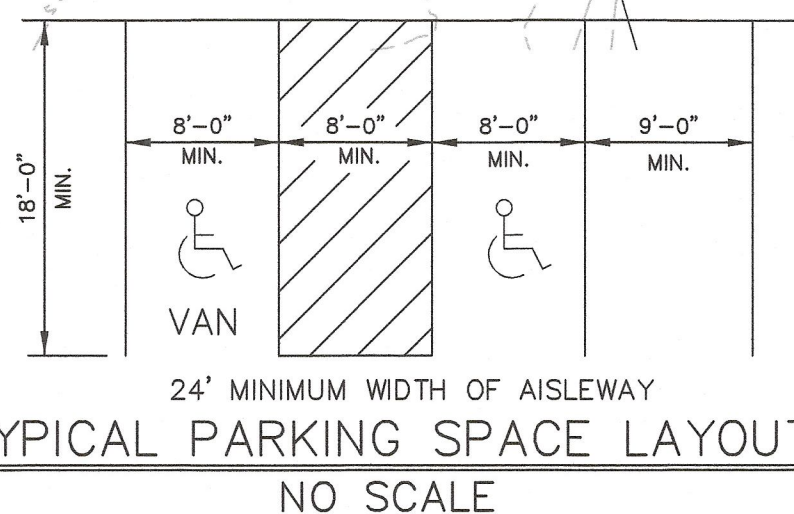
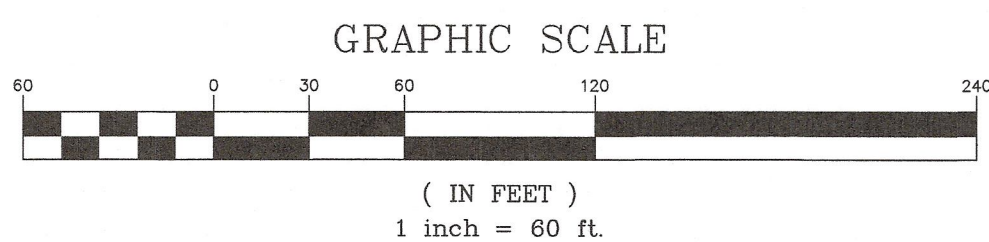
1. A portion of the site is located in a 100 year floodplain per FIRM map 21111 C 0095 & 0096 F dated February 26, 2021.
2. Sewers by Lateral Extension and subject to fees and any applicable charges.
3. A "Request for Sanitary Sewer Capacity" will be filed with MSD.
4. All proposed sewer and drain easements shall be 15' unless otherwise indicated.
5. The Louisville Water Company will determine the width of their easement prior to construction plan approval.
6. Construction plans and documents shall comply with Louisville and Jefferson County Metropolitan Sewer District's Design Manual and Standard Specifications and other local, state and federal ordinances.
7. The final design of this project must meet all MS4 water quality regulations established by MSD. Site layout may change at the design phase due to proper sizing of Green Best Mgmt. Practices.
8. An EPSC plan shall be developed and approved in accordance with MSD Design Manual and Standards Specifications prior to construction plan approval.
9. MSD drainage bond may be required prior to construction plan approval.
10. Lowest finished floor and machinery to be at or above 634.5'.
11. The final design of this project must meet all MS4 water quality regulations established by MSD. Site layout may change at the design phase due to proper sizing of Green Best Mgmt. Practices.
12. An EPSC plan shall be developed and approved in accordance with MSD Design Manual and Standard Specifications prior to construction plan approval.
13. KDOW approval required prior to MSD construction plan approval.
14. On-site detention will be provided. Post-developed peak flows will be limited to pre-developed peak flows for the 2,10,25 and 100 year storms or to the capacity of the downstream system, whichever is more restrictive.
15. Any required fill in the floodplain shall be compensated onsite at a ratio of 1.5 to 1.
16. MSD floodplain permit required prior to MSD construction plan approval.

1. All roads within the development shall have curb and gutters, Cul-de-sacs shall have a pavement width of 20 feet with a radius of 35 feet at Cul-de-sac. All other roads shall be 24 feet in width with a 25 foot radius intersections.
2. Sidewalks within the subdivision shall be provided in accordance with Table 6.2.1 of the Land Development Code.
3. Street grades shall not be less than 1% (Min.) or 10% (max.).
4. Verges shall be provided as required by Metro Public Works.
5. All streets, intersections, loop roads, cul-de-sacs, bulbs, traffic circles and rights-of-way shall be in accordance with the Development Code and Metro Public Works' standards and approved at the time of construction.
6. All street name signs shall conform with the MUTCD requirements and shall be installed prior to the recording of the applicable subdivision plat or prior to obtaining the first certificate of occupancy and shall be in place at time of bond release.
7. The location and type of plantings within the street right-of-way will be evaluated for roadway safety and sight distance requirements by Metro Public Works which reserves the right to remove them without the property owner's approval.
8. Should any existing drainage structures and/or utilities located within offsite rights-of-way become necessary to be altered, extended or relocated, such shall be at the owner's/developer's expense.
9. All roadway intersections shall meet the requirements for landing areas as set by Metro Public Works.
10. The minimum driveway length is 25' from garage or building facade to back of sidewalks or edge of pavement or curb.
11. Construction plans, bond, and permit are required by Metro Public Works prior to construction approval.
12. End of road signage will be in place prior to recording of record plat indicating the possible extension of the road.
13. An encroachment permit and bond are required by Metro Public Works for roadway repairs on all surrounding access roads to the subdivision site due to damages caused by construction traffic activities.



TBM#42228=SQUARE CUT ON SOUTHWEST CORNER OF CONCRETE PAD FOR AT&T EQUIPMENT. CONCRETE PAD IS LOCATED 43'+/- NORTH OF THE EDGE OF PAVEMENT OF EAST MANSKOLD ROAD AND 362'+/- WEST OF THE CENTERLINE OF THE INTERSECTION OF BRAEBURN RIDGE DRIVE AND EAST MANSKOLD ROAD.  
ELEVATION=656.289' (NAVD 88)

SOURCE - ELEVATIONS ARE BASED ON LOJIC MONUMENT BS30-02-2018  
ELEVATION=748.39 (NAVD 88)



LOT AREA		LOT AREA		LOT AREA	
LOT#	AREA	LOT#	AREA	LOT#	AREA
1	3000 SF	14	3008 SF	27	2160 SF
2	3000 SF	15	3007 SF	28	2160 SF
3	3000 SF	16	2165 SF	29	3000 SF
4	2160 SF	17	2165 SF	30	3000 SF
5	3000 SF	18	3008 SF	31	2162 SF
6	3388 SF	19	3038 SF	32	2172 SF
7	2444 SF	20	2184 SF	33	3055 SF
8	3488 SF	21	3033 SF	34	3000 SF
9	3018 SF	22	3033 SF	35	2160 SF
10	3017 SF	23	2184 SF	36	2160 SF
11	3308 SF	24	2184 SF	37	3000 SF
12	2249 SF	25	3026 SF	38	3000 SF
13	2188 SF	26	3000 SF	39	2160 SF
				40	3000 SF

OWNERS:  
RLM PROPERTIES, INC  
705 DANES HALL DR  
Louisville, KY 40206

SITE ADDRESS:  
7203 EAST MANSLICK RD  
LOUISVILLE, KY 40228  
TAX BLOCK: 0654, LOT 00  
D.B. 12652, PG. 668

DEVELOPER:  
RLM BUILDING & REMODEL  
705 DANES HALL DR  
Louisville, KY 40206

COUNCIL DISTRICT - 23  
PROTECTION DISTRICT - HIGHVIEW  
MUNICIPALITY - LOUISVILLE

JOB: 21183  
DATE: 05/17/24  
WATER/SUB#

[illegible]

10/1/14

THEODORE W. BERNSTEIN  
1010  
REGISTERED ARCHITECT  
STATE OF KENTUCKY

LANDSCAPE ARCHITECTS, SEAI

SURVEYOR'S SEAL

PROJECT DATA	
FILE NAME:	21183--ZO--PRESUB
DATE:	5/17/24
CHECKED BY:	TB
SCALE:	AS SHOWN
DRAWN BY:	TB

**LD&D**

**LAND DESIGN & DEVELOPMENT, INC.**  
ENGINEERING • LAND SERVICES • LANDSCAPE ARCHITECTURE  
500 WASHINGTON AVENUE, SUITE 101, LOUISVILLE, KENTUCKY 40202  
PHONE: 502/441-4975 FAX: 502/441-4974  
WEB SITE: WWW.LD&D.COM

PRELIMINARY SUBDIVISION / REZONE PLAN

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**MORRIS – MANSLICK**

OWNER/DEVELOPER  
RLM PROPERTIES, INC  
705 DANES HALL DRIVE  
LOUISVILLE, KY 40206

JOB NO. 21183

SHEET 1 OF 1